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PROJECT OVERVIEW

On January 22nd 2026 Chris Egnatz (Architect) performed a comprehensive structural review of the Clyde Park Town Hall and (vacated) Methodist Church properties. The following report captures the site observations and structural assessment of both properties for the town's consideration.

Bo Danysh (Town CSO) provided access to both properties and the site surveys took approximately 2 hours.

Church: We were unable to locate access to the crawl space and ceiling of the church. However, we were able to walk the property and identify areas of structural concern as bowing walls, sloped floors and cracking foundations. These will be discussed further in this report.

Town Hall: Access to the crawl space beneath the town hall was gained through the fire station. The buildings existing foundation and floor structure were exposed for review.

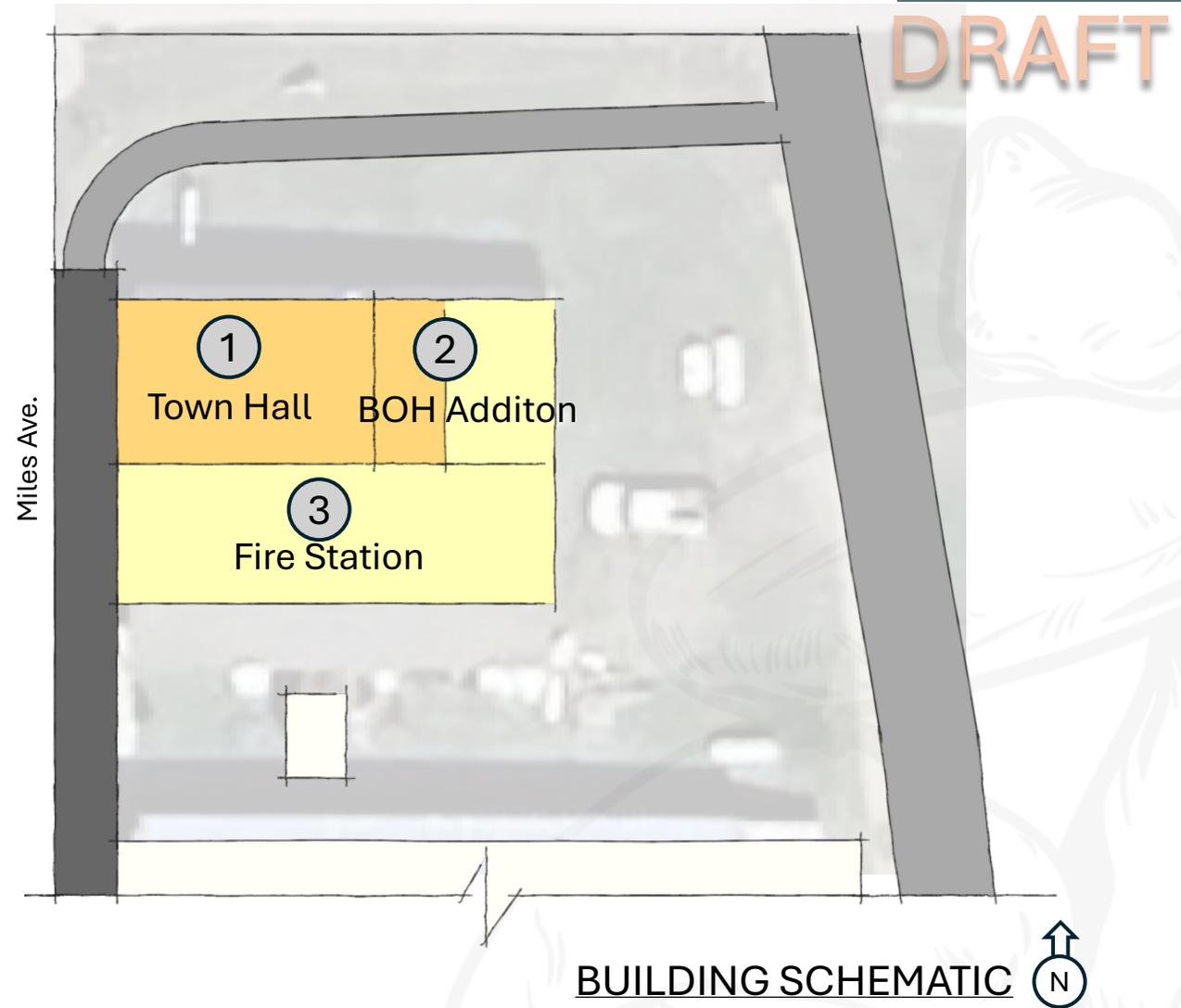
Add photo Front of Town Hall

Add photo Methodist Church

STRUCTURAL OVERVIEW

Clyde Park Town hall and Fire station were built as Type V (non sprinkler) wood construction in +/- 1905?. The original building housed the county courthouse and has been expanded on over the years. There are minimal records of the different additions added to the building, however the attached diagram helps summarize the different construction types which likely align with the various renovations.

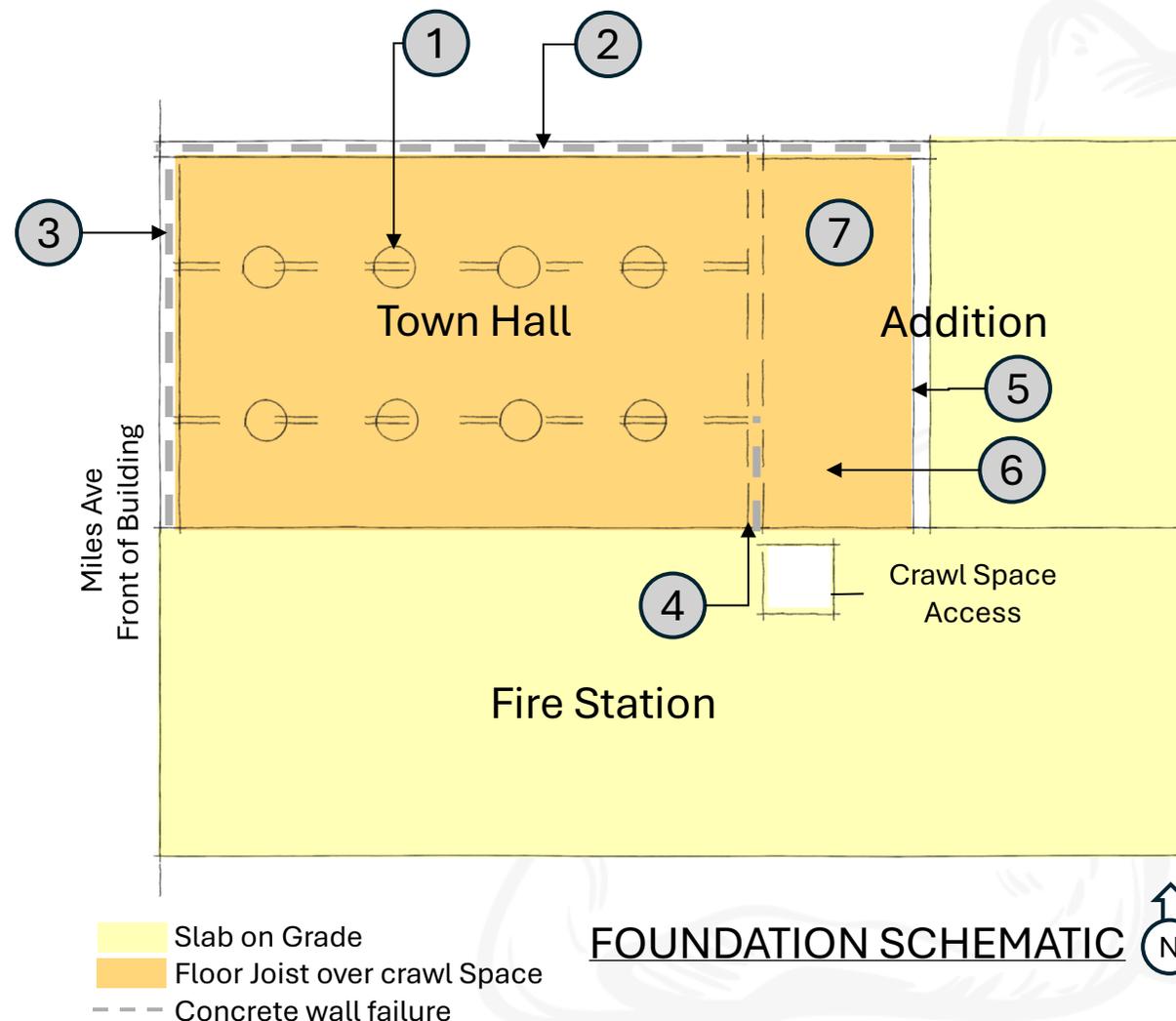
- ① Wood Framing (Original Construction)
- ② Mixed Construction Wood Framing / Slab on Grade (BOH Addition 1)
- ③ Slab on Grade (Fire Station Addition 2)



SUMMARY OF DEFICIENCIES

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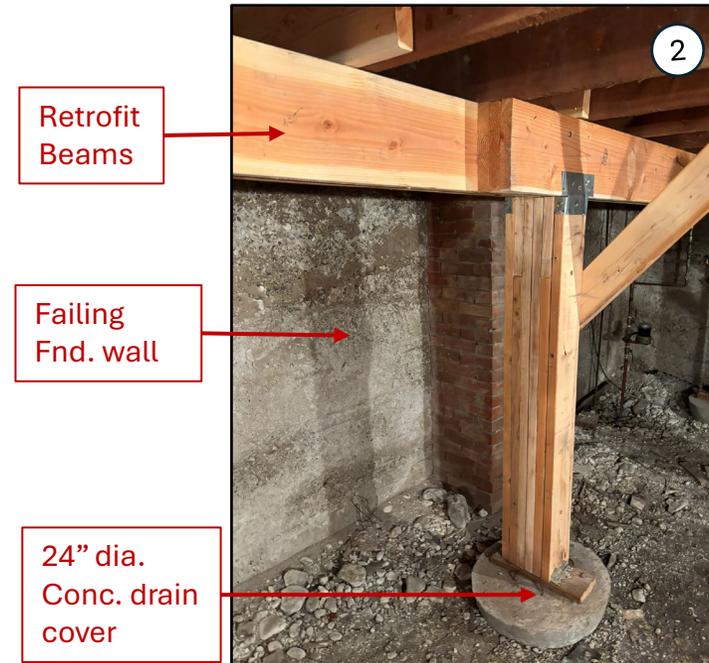
- ① The Floor joist in this area of the building are supported by retrofit beams. Precast manhole covers over non compacted fill. These should be pored footings on structural fill.
- ② The Concrete foundation walls on the North and West side of the building are failing.
- ③ Wood retainage for curb and sill (@ front of building) is undersized and beginning to decay.
- ④ The Cut foundation at building mid span I failing and framing is undersized to support floor above.
- ⑤ Non treated wood framing bearing on and encapsulated by dirt.
- ⑥ There are no footings to support structure here. Column rest on sloping fill.
- ⑦ There are no joist hangers support floor. Joist are toe nailed to beams and can fail under shear.



1 FLOOR JOIST RETROFIT (North)

Rough Sawn 2x10's floor joist @ 16" o.c., appear to be original and are no longer supported by the concrete foundation walls. (2) beams were added (East to West) adjacent to foundation walls (+/-15 years) ago.

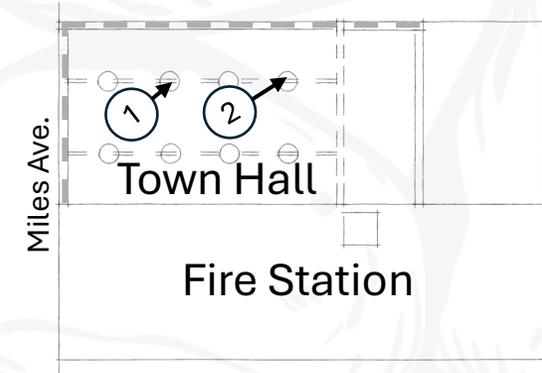
These beams sit on columns supported by 24" dia. x 6" precast manhole covers. These covers act as "footings" but are not to code. Columns should be supported by cast in place footings over compacted structural fill.



2 FOUNDATION WALLS

The foundation walls in this area of the building are failing. We could regularly pull aggregate out of the wall and there were parts of the foundation lying on the crawl space floor. This was likely identified 15 years ago which was the reason for cutting the floor joist away from the walls and adding the beams that now support the floors.

That being said; the walls and roof still bear on the foundation which is susceptible to failure especially if there is a significant rain event which adds moisture to the ground around the failing concrete.



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Filing 1x4 framing w/ tar paper. This is in place to retain front sidewalk and fill

3 CURB RETAINAGE AND FOUNDATION WALL

The West Foundation walls is failing similar to the north wall. The floor structure was retrofit and cut away from the foundation and is now supported by columns on 24" conc. drainage covers.

However, the front façade and roof are supported by the foundation walls and susceptible to collapse if the foundation fails. Additionally, the wood framing that holds back the curb and fill at the front of the building is undersized and shows signs of water infiltration and rot. Similarly the stem walls which support the recessed vestibule show signs of degradation and water damage.



Example of failing concrete wall

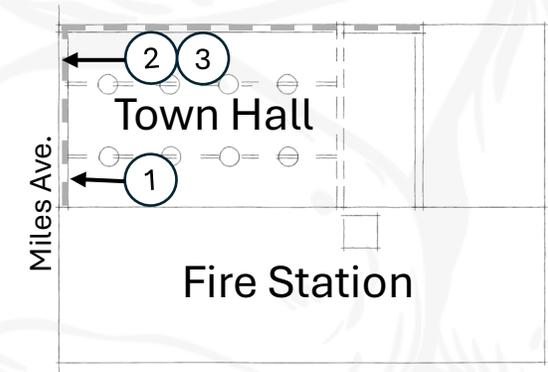
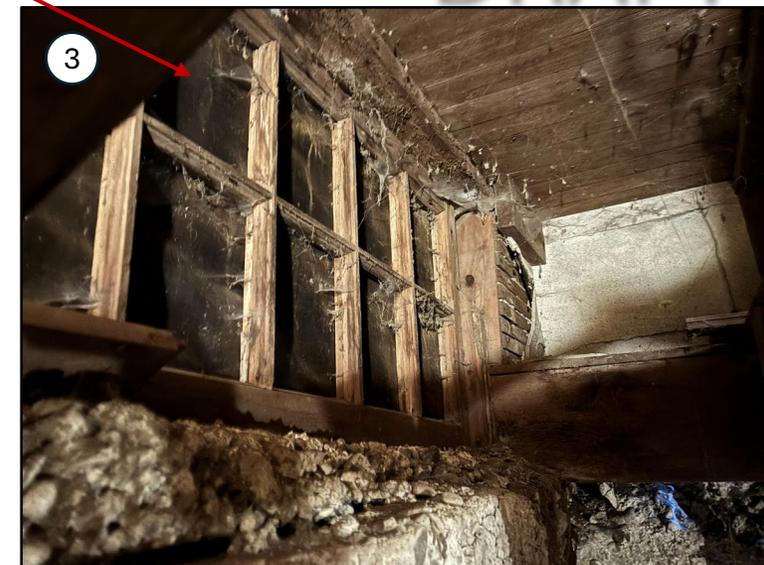


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④ CUT FOUNDATION WALL

The foundation wall that supports the west side of the building was cut some time ago to gain access to the crawl space. Unfortunately, the foundation wall now non-structural and leaning in. Retrofit 2x6 framing is (hammered into place) and inadequate to support the floor loads above. Additionally, the fill supporting the fire station slab is falling into the crawl space creating a void space under the slab.

⑤ FLOOR JOIST IN CONTACT WITH FILL

There is no vapor barrier located over the crawl space where wood member are in close proximity to dirt. In some instances untreated joist are laying on, or encapsulated in dirt. We could not gain access to review what the joist bear are bearing on (if anything). However; It can be assumed that compromised joist + lack of bearing are leading to the sloping floors found in the offices above.



Door jack has been hammered into place to hold back fill from fire station.

Original foundation wall is now leaning into crawl space and is non-structural



Example wood floor framing sitting directly on dirt.

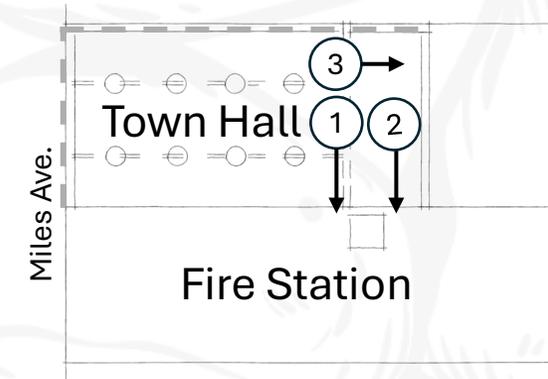
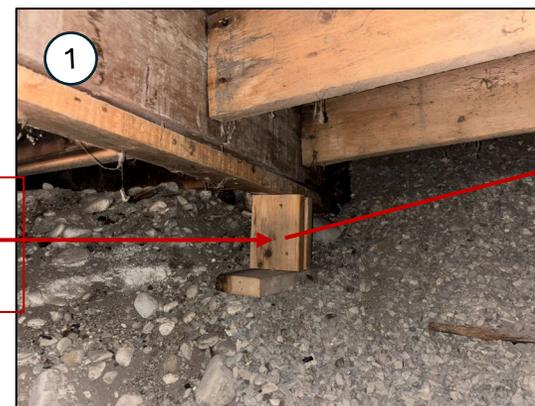


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6 FLOOR FRAMING BEARING ON FILL

The east end of the Town Hall is a mixture of wood framing and slab on grade. With this hybrid construction there is differential settlement telegraphing thru the structure causing the floors to slope in the offices above.

Some time in the past this floor framing was added which rests on the original foundation wall and dirt/fill to the east. Its important to note that framing in the area of the building is inadequate. Column are hammered into place on 2x4 blocks placed on non-structural slopping fill. All column should bear on Concrete footing / sono tubes and be treated.



Beam supported by 2x6 on non-structural fill

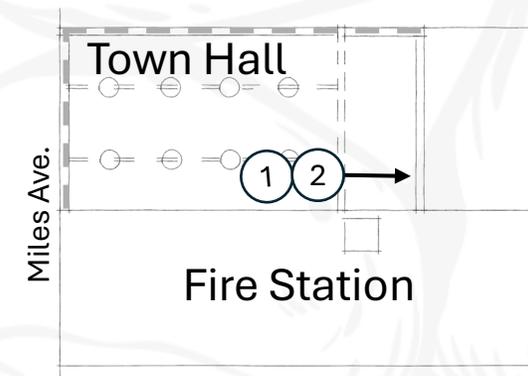


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7 JOIST HANGERS

There are no joist hanger used in this area of the building. Joist have been toe nailed to beams with 8d and 16d framing nails. These fasteners can fail in shear over time from standards live loads above. Would recommend a review of wood joinery and the addition of joist hangers.



Floor joist toe nailed to beam. Fasteners can fail under shear with live load above

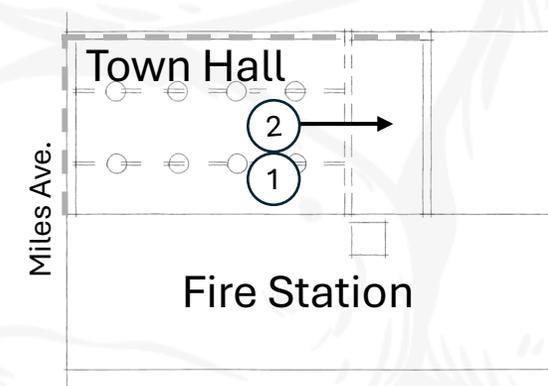
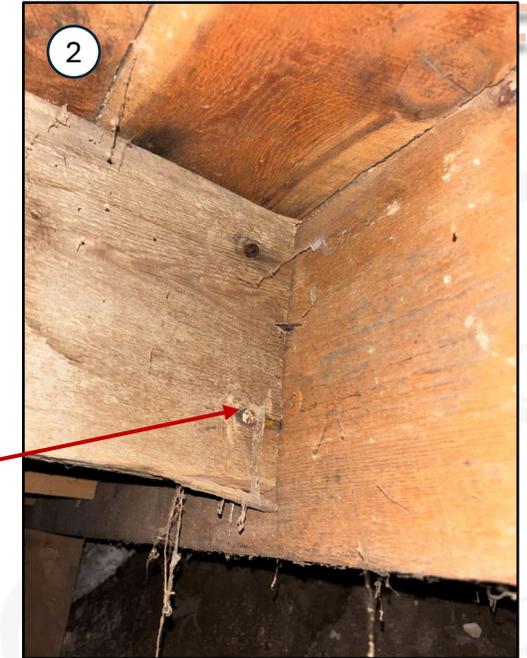


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SUMMARY

The town hall has been standing for +100 years. However, over time the foundation walls have degraded due to a slowly failing cement binder, inadequate aggregate, and moisture.

Additionally, the untreated floor structure (at the rear of the building) is not to code and has been constructed over nonstructural fill. Columns have been wedged into place to hold up joist and the wood joist are resting on or buried in soil. Access from the fire station through the foundation is crud and the concrete and non-structural fill are failing in this location undermining the fire station slab.

To shore up the building we would recommend hiring a licensed engineer and contractor to better understand the scope of work and what's possible.

Their scope of work could be significant and involve the following:

- Temporary supports to raise building from foundation
- removal of existing foundation
- pouring a new structural wall for perimeter walls
- Digging out the floor structure (east side of building)
- General shore up of existing framing
- Adding joist hanger
- Pore footing on compacted fill where needed for column supports

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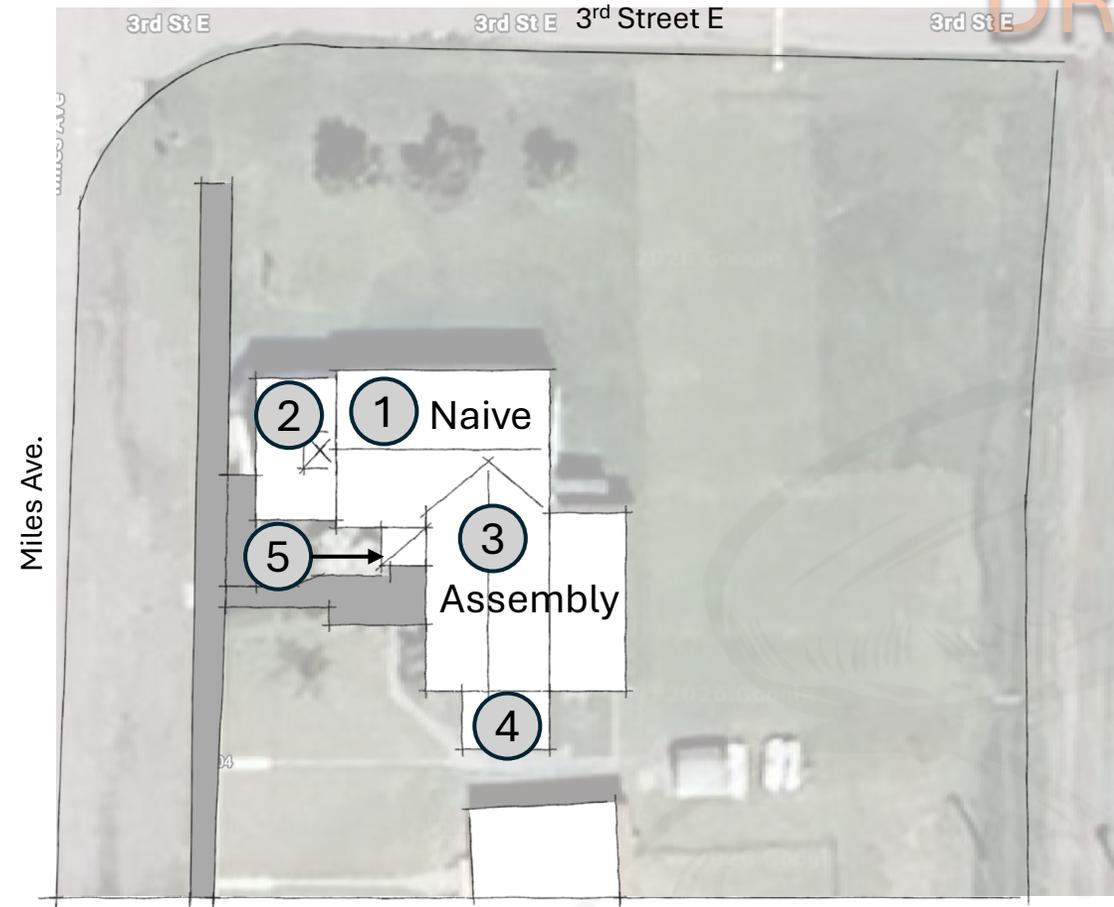


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STRUCTURAL OVERVIEW

The Methodist Church property is constructed as a Type V (non sprinkler) wood construction. The original structure (Church Naïve only) was volunteer built in +/-1905. As the church grew a series of additions were added to respond to the communities needs. There are no records of these additions, however from our review we could conclude the following which following progression.

- ① The **Naïve** is the original 1905 wood construction. Floor construction is wood joist, walls and ceiling are Type V wood framed. *Note: The Crawl space in this area of the church was not accessible.*
- ② **Vestibule + Steeple** Floor construction is wood joist, walls and ceiling are Type V wood framed
- ③ The **Assemble and Kitchen** Floor construction is a mixture of slab on grade and wood joist.
- ④ The **Restrooms** Floor construction is wood joist, walls and ceiling are Type V wood framed
- ⑤ The **Storage Room** Floor construction is wood joist, walls and ceiling are Type V wood framed



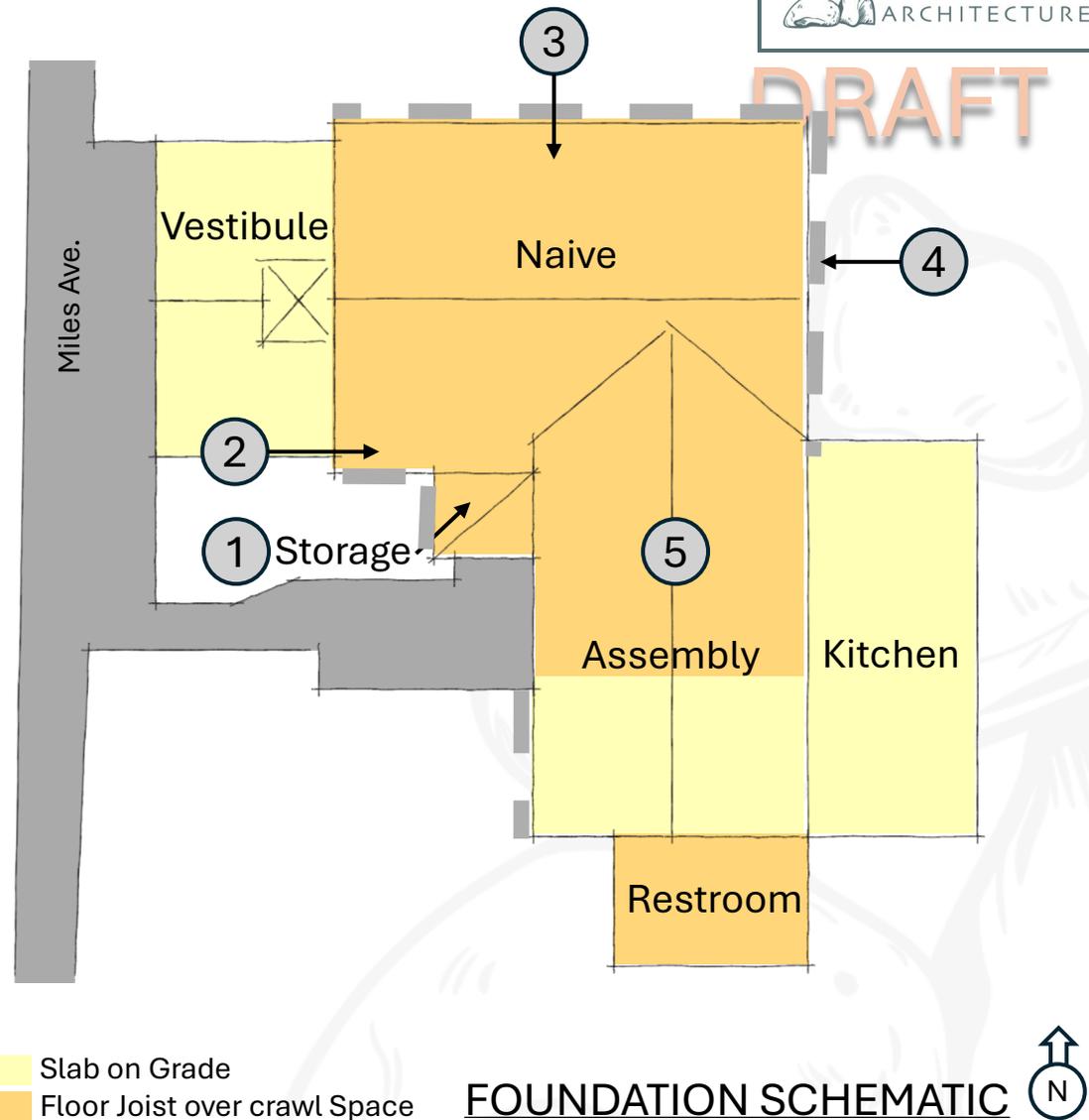
BUILDING SCHEMATIC



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SUMMARY OF DEFICIENCIES

- ① The Storage Room adjacent to the entry has settled into the ground and is pulling away from the building.
- ② The South West Corner of the naïve is sinking into the ground due to differential settlement across the foundation
- ③ The North Wall of the naïve is leaning outward toward the park. This is pulling the roof trusses downward which is observed as an arch in the roof ridge.
- ④ There are many large cracks in the foundation likely cause by differential settlement over the years. Some of these cracks are likely causing water to infiltrate leading to further settlement.
- ⑤ The floor in the assembly area is spongee and sloping in different directions. Note: There were no slopes observed where this room becomes slab on grade.



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① **THE STORAGE ROOM** adjacent to the entry has been settling over time. This is very noticeable when entering the room as there is a +3% slope from East to West. We could not access the space below the room however there are cracks in the exterior foundation caused by differential settlement and inadequately compacted fill. these cracks will likely expand over time as water gets below the footing and further weakens the soils.

② **THE NAÏVE (SOUTH WEST CORNER)** is noticeably lower than the rest of the structure. When we placed a pew against a window it was evident that the floor is slope downward toward the South West. Similar to the storage room this corner of the building is experiencing differential settlement caused by foundation construction on shallow inadequately compacted fill. Water which has infiltrated the foundation over time is likely further reducing bearing capacity of soils which will continue to fail.



Noticeable wall bow here

Roof Rake is curving



Large cracks in corners of foundation



Church pew and floor are sloping, windowsill is level.

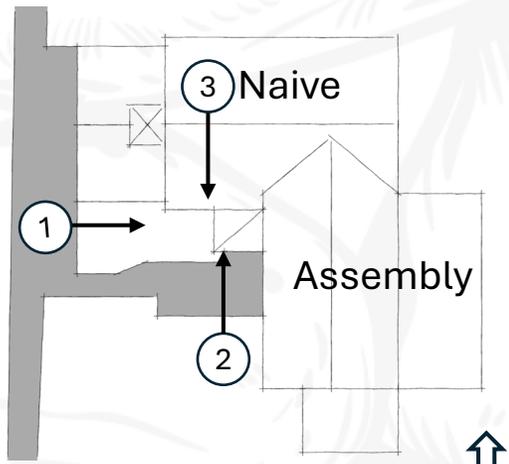
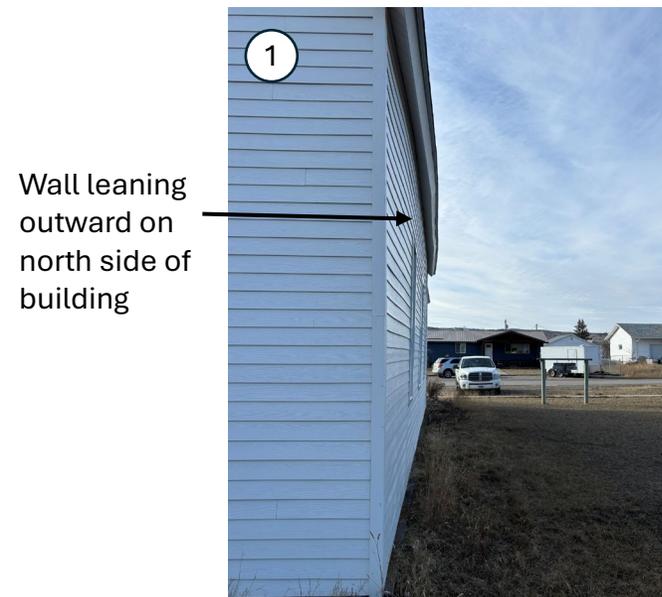


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3 THE NAÏVE (NORTH WALL) is leaning outward toward the park. This is Observable as you look down the exterior wall and can be seen from the park as a Bow in the roof ridge. The roof trusses are fastened to the top plate of the wall, as the wall leans out the fasteners and framing members are stressed. This failure is noticeable as the aforementioned bow in the roof ridge seen from the park.

4 FOUNDATION CRACKING There are multiple cracks in the stem wall surrounding the oldest (Naïve) portion of building. Moisture is penetrating these cracks and natural freeze thaw cycles are further cracking the foundation. Additionally, water is seeping into the soils around and under the building. This water is limiting the bearing capacity of the soils which were likely not properly compacted during the original construction



Large bow in roof ridge cause by exterior wall leaning outward

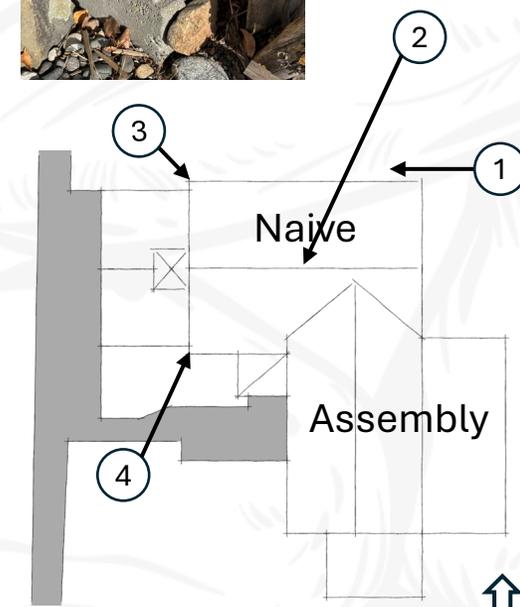


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5 **FLOORS IN THE ASSEMBLY AREA** are “sponge” and sloping in various directions. The floor construction in this area of the building are mixed conc. slab and wood framing. The areas of concern are where the wood framing meets the slabs. These areas are noticeably uneven when viewed against a level surface like a door jamb or wall trim

Further investigation will be needed to better understand what happening below the floor. We can infer that there may be undersized framing or settlement happening where the crawl space meets the concrete slab construction.



Floor is sloping in multiple locations

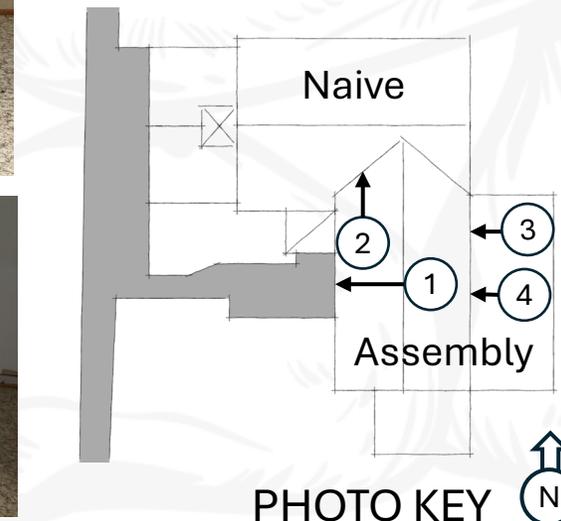


Wavy construction were floor changes to slab on grade



Wood floor over crawl space

Slab on Grade



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SUMMARY

TBD

